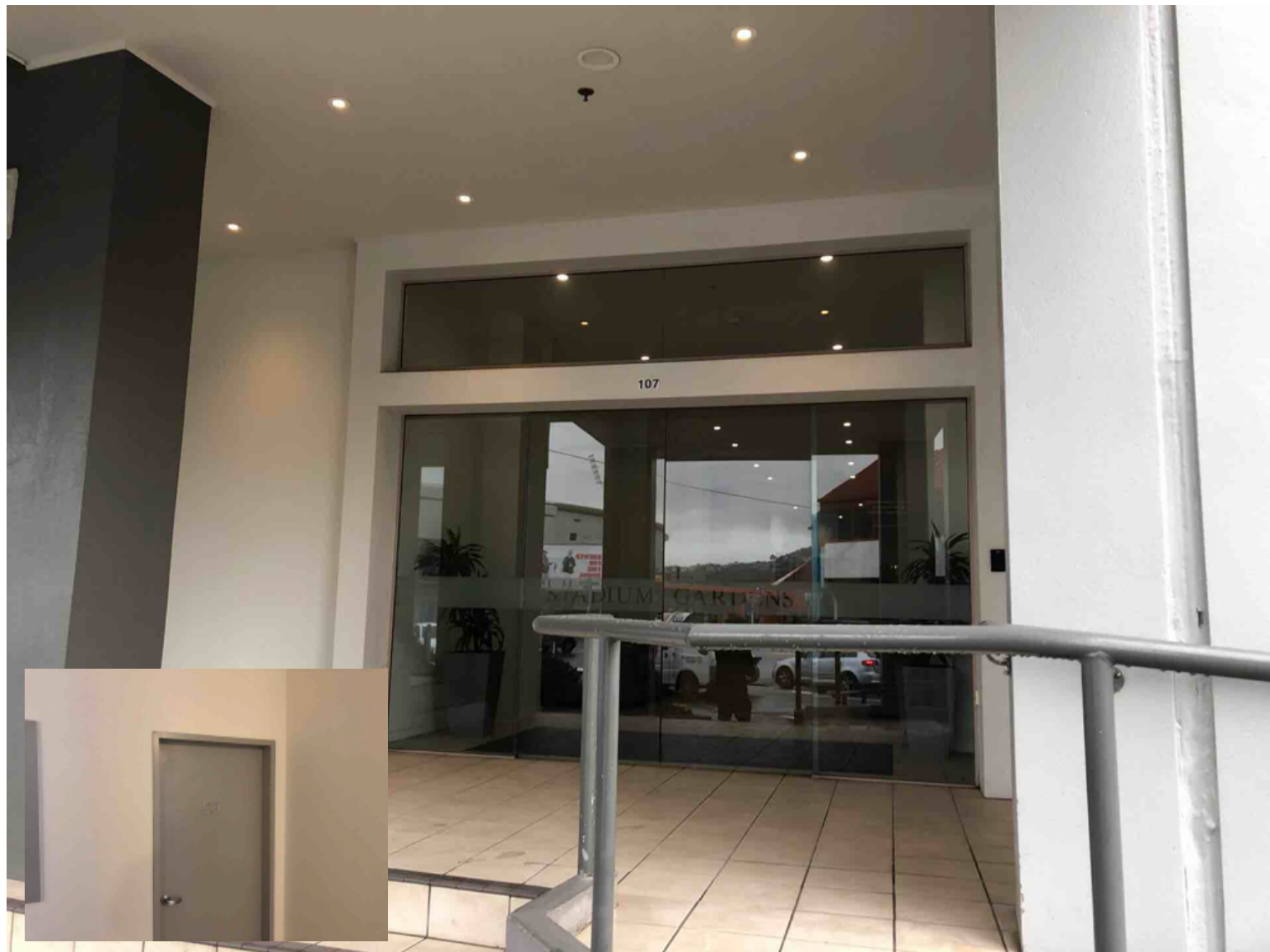


Healthy Homes Assessment

T.H.I.S. Kapiti Coast. South & East Wgtn Ltd

Mon 29 Jun 2020



211-107 Thorndon Quay, Pipitea, Wellington, 6011, NZ

Inspector: Campbell Sutherland

For the sole purposes of Leaders Property Management

** unless prior agreement made with T.H.I.S. Kapiti Coast. South & East Wgtn Ltd*

Date & Time

Date

Mon 29 Jun 2020

Time

9:00 AM

Weather

Scattered Clouds 9

Inspector's Details

Name

Campbell Sutherland

Mobile

021 847 796

Customer's Details

Name

Lebern Investments

Street Address

211-107 Thorndon Quay

Location

Wellington

Email

atheodoridis@leaderspm.co.nz

Agent's Details

Name

No agent specified

Company

N/A

Note

Please note that this report does not mean that any work, if required, will be completed immediately - once the report is sent, the owners will be arranging quotes for anything required. The deadline for compliance is 90 days from any new, varied or renewed tenancy agreements from the 1st July 2021.



Overview

Overview

Overview Comments

Meets the Healthy home standard.

Overview Gallery

N/A



Certificate

Certificate

Moisture ingress and drainage

Compliance

Complies

Recommendation

Meets the Healthy home standard.

Ventilation

Compliance

Complies

Recommendation

Meets the Healthy home standard.

Heating

Compliance

Complies

Recommendation

Meets the Healthy home standard.

Draught Stopping

Compliance

Complies

Recommendation

Meets the Healthy home standard.

Insulation

Compliance

Complies

Recommendation

Meets the Healthy home standard.

Smoke Alarms

Compliance

Complies

Recommendation

Meets the Healthy home standard.



Property Details

Moisture ingress and drainage

Drainage

Roof

Sufficient guttering and drainage within the apartment complex.

Surface water

No signs of moisture ingress through the exterior cladding.

Drainage standard

27 Tenancy building to have efficient drainage system

- (1) The tenancy building must have a drainage system that efficiently drains storm water, surface water, and ground water to an appropriate outfall.
- (2) The drainage system must include appropriate gutters, downpipes, and drains for the removal of water from the roof.

Moisture barrier

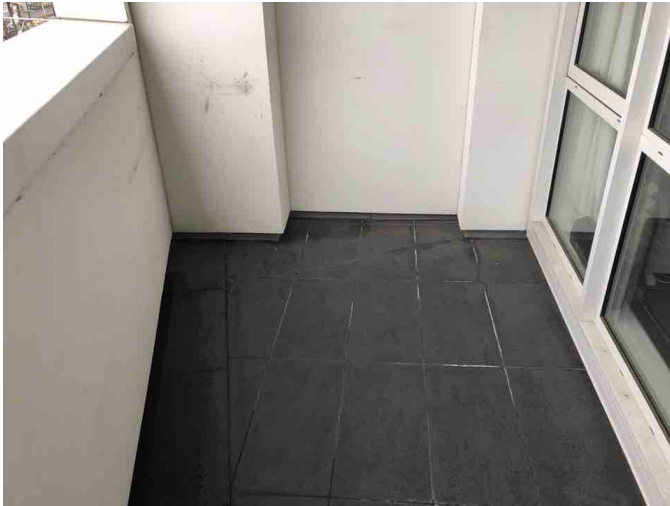
Subfloor

Multi story complex. A ground moisture barrier is not required.

Moisture barrier standard

28 Suspended floors to have ground moisture barrier

- (1) This regulation applies if-
 - (a) the tenancy building has a suspended floor; and
 - (b) the subfloor space is enclosed.
- (2) The tenancy building's subfloor space must-
 - (a) have a ground moisture barrier that-
 - (i) is made of a material that meets the specifications for an on-ground vapour barrier set out in section 8 of NZS 4246:2016; and
 - (ii) was installed in accordance with section 8 of NZS 4246:2016; or
 - (b) have an alternative ground moisture barrier that-
 - (i) has a vapour flow resistance of at least 50 MN s/g; and
 - (ii) was installed by an appropriate professional installer.
- (3) A subfloor space is enclosed if the airflow into and out of the space is significantly obstructed along at least 50% of the perimeter of the subfloor space by 1 or more of the following:
 - (a) a masonry foundation wall;
 - (b) cement boards, timber skirting, or other cladding;
 - (c) other parts of the building or any adjoining structure;
 - (d) any other permanent or semi-permanent structure that significantly obstructs airflow;
 - (e) rock, soil, or other similar material.



No signs of moisture ingress through the exterior cladding. This apartment does not require a moisture barrier. Tenancy below.



Sufficient drainage and gutters within the apartment complex.
No evidence of moisture ingress.
Meets the Healthy home standard.

Status

Do the areas above meet the Healthy Homes standards?

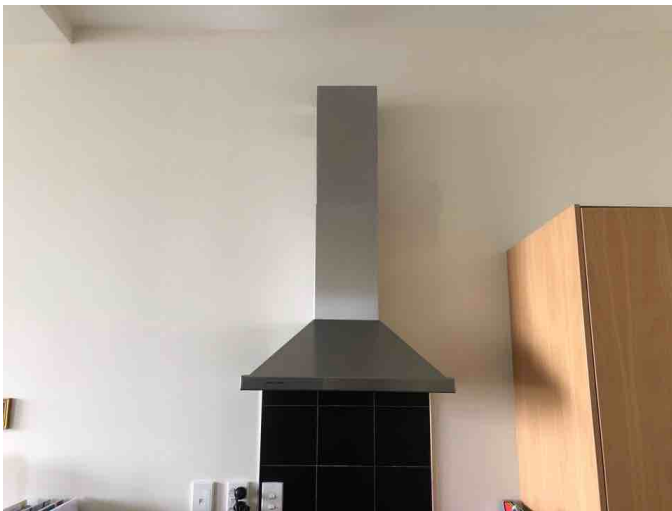
It does

Ventilation

Kitchens

KITCHEN

Name	Extractor Fan
KITCHEN	Mechanical extraction sighted.
Installation date	Ducting
Prior to July 2019	N/A
Exhaust Capacity	
N/A	



Extraction fan noted. Appears In working order at the time of the inspection. Unable to determine the capacity or size of the ducting however it appears to have been installed prior to 1 July 2019.

Status

Do the areas above meet the Healthy Homes standards?

It does

Bathrooms

BATHROOM

Name

BATHROOM

Installation date

Prior to July 2019

Exhaust Capacity

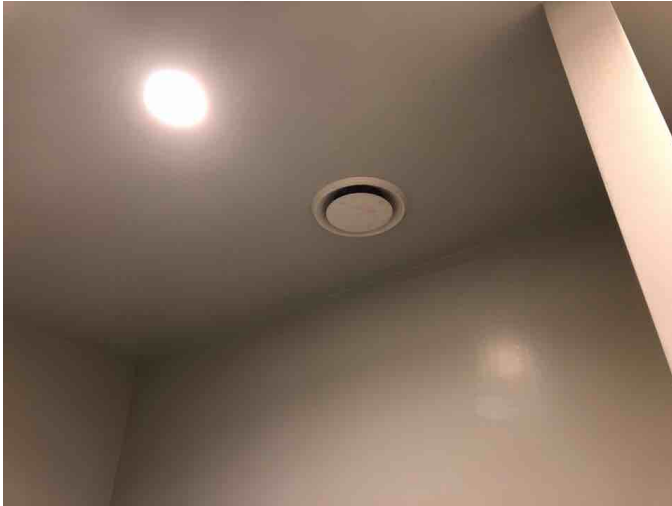
N/A

Extractor Fan

Mechanical extraction sighted.

Ducting

N/A



Mechanical extraction installed prior to July 1st 2019, appears in working order at the time of the inspection.

Status

Do the areas above meet the Healthy Homes standards?

It does

Kitchen/Bathroom Ventilation Standard

23 Extractor fans for kitchens and bathrooms

- (1) Each kitchen and bathroom in the premises must have an extractor fan installed in it.
- (2) For a kitchen,-
 - (a) the fan and all exhaust ducting must have a diameter of at least 150 mm; or
 - (b) the fan and all exhaust ducting must have an exhaust capacity of at least 50 l/s.
- (3) For a bathroom,-
 - (a) the fan and all exhaust ducting must have a diameter of at least 120 mm; or
 - (b) the fan and all exhaust ducting must have an exhaust capacity of at least 25 l/s.

Living

LARGEST LIVING SPACE

Room Type

LARGEST LIVING SPACE

Ventilation Type

Passive External Door

Floor Area

41.4 m²

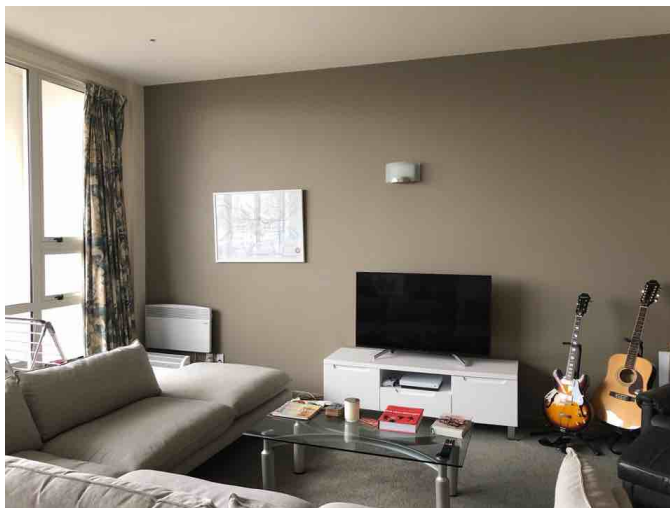
Required Openable Window/Door

2.07 m²

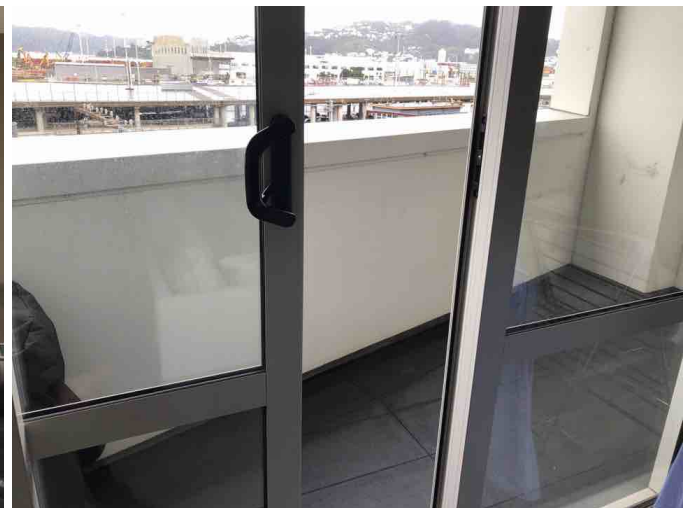
Existing Openable Window/Door

4.12 m²

Living Gallery



Floor area of addition living space. 41.4m²



Openable door - 1.56m x 2.64m. The Minimum ventilation requirement to meet Healthy Homes Standards in this area is 2.07m². This door provides adequate ventilation being 4.12m².

Status

Do the areas above meet the Healthy Homes standards?

It does

BEDROOM 1

Room Type
BEDROOM 1

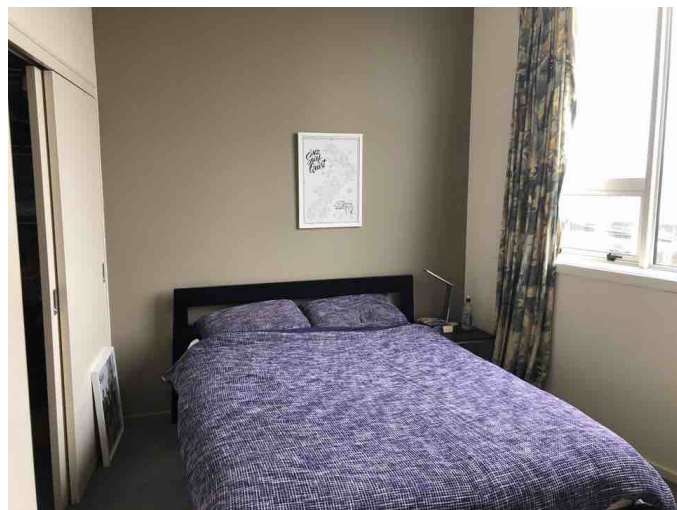
Floor Area
10.9m²

Existing Openable Window/Door
0.7 m²

Ventilation Type
Passive Window

Required Openable Window/Door
0.54 m²

Living Gallery



Floor area of bedroom 1: 10.9m²



Openable windows x2@ - 0.79m x 0.43m. The Minimum ventilation requirement to meet Healthy Homes Standards in this area is 0.54m². These windows provides adequate ventilation being 0.70m².

Status

Do the areas above meet the Healthy Homes standards?

It does

BEDROOM 2

Room Type
BEDROOM 2

Floor Area
8.7m²

Existing Openable Window/Door
N/A

Ventilation Type
Mechanical extraction

Required Openable Window/Door
0.43 m²

Living Gallery



Floor area of bedroom 2: 8.7m²



Internal Bedroom - No openable Windows. Mechanical ventilation believed to be compliant at time of construction. Exemption applies under section 22 of the Healthy Homes Standard.

Status

Do the areas above meet the Healthy Homes standards?

It does



Living Ventilation Standard

21 Openable windows or external doors

- (1) Each habitable space in the premises must have 1 or more qualifying windows or doors.
- (2) The total openable area of the qualifying windows or doors in the habitable space must be at least 5% of the floor area of the habitable space.
- (3) A window, skylight, or door is a qualifying window or door if it-
 - (a) opens to the outdoors; and
 - (b) is designed and built in a way that allows it to remain fixed in the open position during normal occupation of the premises.
- (4) The openable area of a qualifying window or door is its net openable area on the internal face of the building element in which it is located.

Status

Do the areas above meet the Healthy Homes standards?

It does

Heating

Existing Heating

Type	Capacity
Electric heater	2 kW

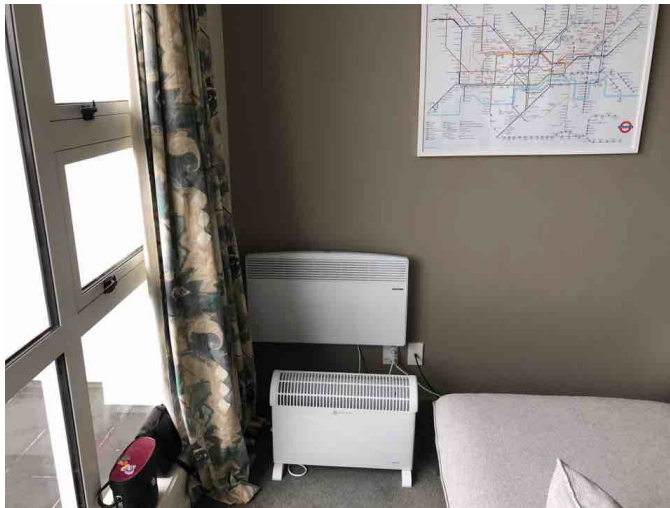
Required Heating

Capacity
5.0 kW

Heating standard

8 Main living room must have qualifying heaters

- (1) The main living room of the premises must be heated by 1 or more qualifying heaters with a total heating capacity of at least the required heating capacity for the main living room.
- (2) If the premises are not in a boarding house, the main living room of the premises is, -
 - (a) if the premises have 1 living room, that living room; or
 - (b) if the premises have 2 or more living rooms, the largest of them.
- (3) If the premises are in a boarding house, the main living room of the premises is, -
 - (a) if the facilities (as defined in section 66B of the Act) include 1 living room, that living room; or
 - (b) if the facilities include 2 or more living rooms, the largest of them.



Floor area of largest living space: 41.4m²

To meet the Healthy Homes Standards, this room will require heating with a minimum capacity of 5.0kW. It is this inspectors option that a compliant heater will not be able to be installed to this apartment and with the installation of the existing heater the owner has taken all reasonable steps to ensure that the standard is meet to the greatest extent reasonably practicable.

Status

Do the areas above meet the Healthy Homes standards?

It does



Draught Stopping

Open Fireplace

Status

No open fire place

Fireplace Standard

25 Open fireplaces to be blocked

(1) If the premises have an open fireplace, it must be closed off, or its chimney must be blocked, in a way that prevents draughts into and out of the premises through the fireplace.

Unreasonable Draughts

Status

At the time of inspection there was no unreasonable draughts observed.

Draught Standard

26 Gaps and holes that allow draughts

(1) The premises must be free from gaps between, and holes in, building elements thatâ€”

(a) are not intentional parts of the construction of the premises (such as drainage and ventilation openings); and

(b) allow draughts into or out of the premises; and

(c) are unreasonable.

(2) In determining whether a gap or hole is unreasonable for the purposes of sub- clause (1)(c), the following matters may be taken into account:

(a) the size and location of the gap or hole:

(b) the extent of the draught that is allowed through the gap or hole:

(c) if there is more than 1 gap or hole at the premises, the extent of the total draught that is allowed through those gaps and holes:

(d) the likely impact that a draught through the gap or hole will have on heat loss from the premises:

(e) any other relevant matters, subject to subclause (3).

(3) In determining whether a gap or hole is unreasonable for the purposes of sub- clause (1)(c), the age and condition of the premises or tenancy building must not be taken into account.

N/A

Status

Do the areas above meet the Healthy Homes standards?

It does

Insulation

Ceiling Insulation

Type	Installation date
Ceiling insulation. Exemptions apply with the Healthy home standard. Additional unit above.	N/A
Condition	R value
N/A	N/A
Thickness	
N/A	

Ceiling Insulation standard

13 Ceiling insulation

- (1) The ceiling of each domestic living space in the premises must be fully covered by qualifying ceiling insulation.
- (2) However, the ceiling is not required to be fully covered so far as-
 - (a) another domestic living space (whether or not part of the premises) is immediately above the ceiling; or
 - (b) clearances are reasonably required around any other item that is installed in or above the ceiling.

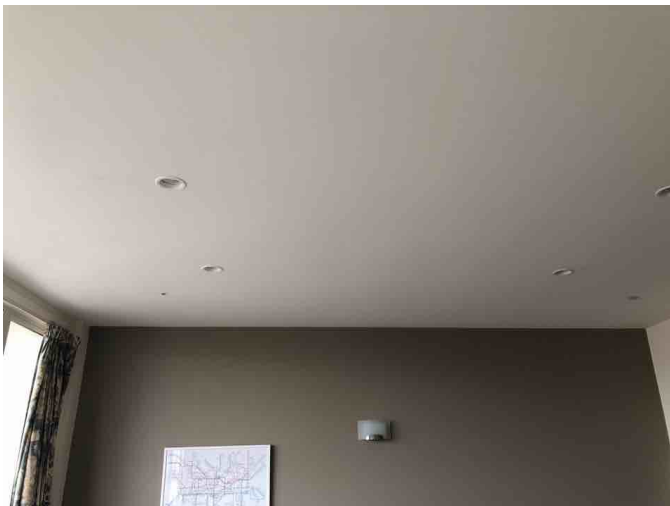
Underfloor Insulation

Type	Installation date
Underfloor insulation. Exemptions apply within the Healthy home standard. Seperate Tenancy below this flat.	N/A
Condition	R value
N/A	N/A

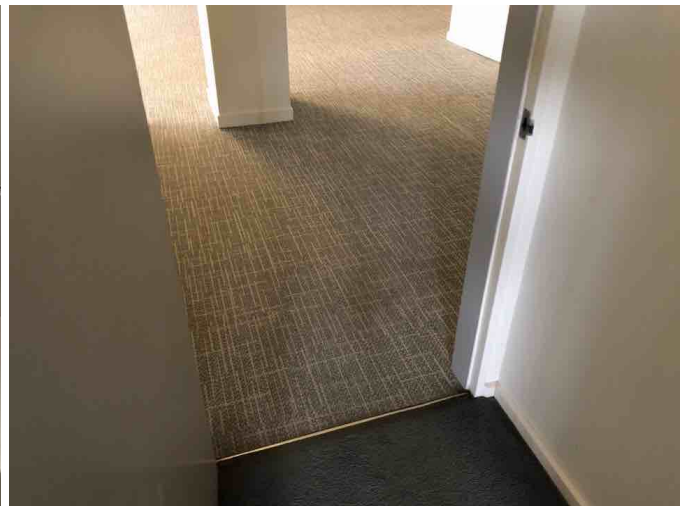
Underfloor Insulation Standard

15 Underfloor insulation for suspended floors

- (1) If a domestic living space in the premises has a suspended floor, that floor must be fully covered by qualifying underfloor insulation.
- (2) However, the floor is not required to be fully covered so far as-
 - (a) another domestic living space (whether or not part of the premises) is immediately below the floor; or
 - (b) clearances are reasonably required around any other item that is installed in or under the floor.



Ceiling insulation.
Exempt from the standard. Unit above.



Underfloor insulation. Exempt from the standard additional dwelling / tenancy below.



Status

Do the areas above meet the Healthy Homes standards?

It does

Smoke Alarms

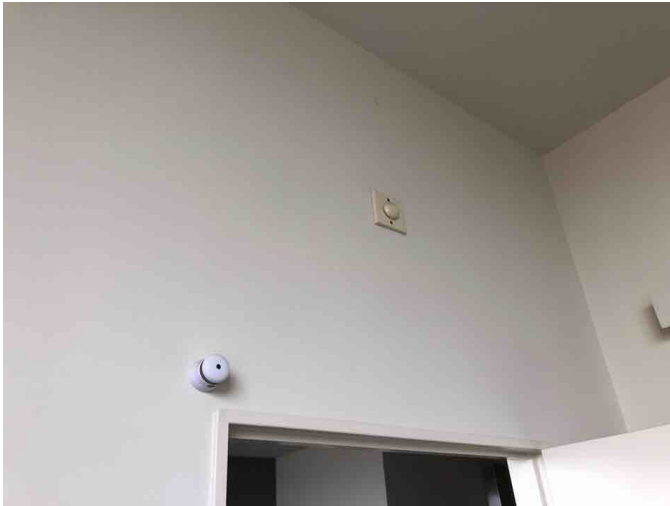
Smoke Alarms

Type

Hardwired

Sufficient Number

Meets minimum requirements.



Hardwired
Smoke alarm located bedroom1
Hardwired smoke detector system.
Sighted throughout the building complex.
Meets the Healthy home standard.
Refer to Leaders property management for certifications.



Smoke alarm located within bedroom 2
Hardwired smoke detector system.
Sighted throughout the building complex.
Meets the Healthy home standard.
Refer to Leaders property management for certifications.

Status

Do the areas above meet the Healthy Homes standards?

It does

Galleries

None specified

Certificate

CERTIFICATE OF ASSESSMENT IN ACCORDANCE WITH RESIDENTIAL TENANCIES (HEALTHY HOMES STANDARDS) REGULATIONS 2019

Client: Lebern Investments

Site Address: 211-107 Thorndon Quay, Pipitea, Wellington, 6011, New Zealand

Inspector: Campbell Sutherland

Company: T.H.I.S. Kapiti Coast. South & East Wgtn Ltd

Qualification: Registered Member NZIBI New Zealand Institute Of Building Inspectors. Reg NZIBI 072

Overview Comments: Meets the Healthy home standard.

Any limitations to the coverage of the inspection are detailed in the written report.

Certification

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with Residential Tenancies (Healthy Homes Standards) Regulations 2019 - and I am competent to undertake this inspection.

Inspector: Campbell Sutherland

Date: Mon 29 Jun 2020

An inspection carried out in accordance with Residential Tenancies (Healthy Homes Standards) Regulations 2019 is not a warranty against any problems developing after the date of the property report.

Heating Report

Report Details

This report was generated by
Martin Whitlow

Address of rental property
**107 Thorndon Quay, Apt
211
Thordon
Wellington**

Name of landlord
**C/- Leaders Property
Management**

Report was generated on
05 July 2020 06:43pm

How to provide this heating requirement

You need 5kW of heating capacity to heat your living room

This is the minimum required heating capacity you need to meet the healthy homes standards, based on the information you supplied. It takes into account your local climate and the design and construction of your home. The tool makes some assumptions to keep things simple.

Your heating needs to provide this heating capacity with an outdoor temperature of 2°C

Heat pump installers need to know the outdoor temperature to work to. This is because the heating capacity of a heat pump reduces with colder outdoor temperatures. If you live somewhere cold, you may need a particular model of heat pump to give enough heating capacity.

Choose the right type and size of heater

You can provide this heating capacity using one or more heaters. But each heater must meet the requirements in the healthy homes standards.

Your heater(s) must be fixed and not portable. They must each be at least 1.5 kW in heating capacity.

Your heater must not be an open fire or an unflued combustion heater, eg portable LPG bottle heaters. If you use a heat pump or an electric heater, it must have a thermostat. You cannot use an electric heater for a required heating capacity over 2.4 kW unless you're 'topping up' existing heating. Smaller 'top up' heaters must meet certain conditions (see below).

The healthy homes standards treat heat pumps differently from other electric heaters. Where the tool refers to an 'electric heater', this means an electric heater that is not a heat pump.

In most cases, the right type of heater will be a larger fixed heating device like a heat pump, wood burner, pellet burner or flued gas heater. In some cases, eg small apartments, a smaller fixed electric heater will be enough. For more information about different heating options visit the [Energy Efficiency and Conservation Authority's website](https://www.energywise.govt.nz/at-home/heating-and-cooling/). (<https://www.energywise.govt.nz/at-home/heating-and-cooling/>)

You can still use heaters that don't meet these requirements. They won't need to be removed but they can't contribute to the heating capacity you need to meet the healthy homes standards.

Top up existing heating

If you're adding a new heater to a room with existing heating, each heater must meet the requirements in the healthy homes standards, with one exception. If your existing heating doesn't have the required heating capacity, you can add a smaller fixed electric heater to 'top up' your heating. If you do, you must meet all these conditions:

- you installed your existing heating before 1 July 2019
- each of your existing heaters meets the general requirements for heaters (listed above) and is not an electric heater (except for a heat pump)
- the required heating capacity is more than 2.4 kW, and
- the 'top up' you need is 1.5 kW or less.

For example, if you have a heat pump with a heating capacity of 3.3 kW, but you need a total heating capacity of 4.5 kW, you can add a fixed 1.5 kW electric heater with a thermostat to meet the standard. See further examples below.

You don't need to add more heating if you have one or more existing large heaters that meet all these conditions:

- were installed before 1 July 2019
- each have a heating capacity greater than 2.4 kW
- meet the requirements in the standards, and
- have a total heating capacity that's at least 90% of what you need.

Disclaimer

This tool is a 'heating capacity calculator' for the purposes of the Residential Tenancies (Healthy Homes Standards) Regulations 2019. As well as determining the required heating capacity, the Heating Assessment Tool will also provide information about the type of heating device that, if installed, would achieve compliance with the heating standard.

When the Heating Assessment Tool is used correctly it is intended to presume the required heating capacity for the main living room of a specific rental premises. Any person using it in good faith is entitled to rely on the report produced as being the correct result based on the information entered. Misuse of the Heating Assessment Tool may cause an incorrect result and impact on a landlord's compliance with the heating standard. [Read the full disclaimer. \(https://www.tenancy.govt.nz/about-tenancy-services/disclaimer/#id_30551108-heating-assessment-tool-disclaimer\)](https://www.tenancy.govt.nz/about-tenancy-services/disclaimer/#id_30551108-heating-assessment-tool-disclaimer)

Examples

Here are some examples showing a required heating capacity and how you could provide heating that meets the healthy homes standards.

Example 1:

You need a total heating capacity of 5 kW. You have a heat pump, installed in 2018, with a heating capacity of 3.7 kW. You can add a fixed electric heater that is at least 1.5 kW to 'top up' your heating.

Example 2:

You need a total heating capacity of 8 kW. You have a fixed heat pump with a heating capacity of 4 kW and an unflued gas heater with a heating capacity of 3 kW. The unflued gas heater is an unacceptable heater type, which means it can't contribute to the required heating capacity. You can meet the standards by installing a 4

kW (or larger) qualifying fixed heater where it can heat the main living room directly. You cannot add an electric heater to 'top up' your heating because the 'top up' you need is over 1.5 kW.

Example 3:

You need a total heating capacity of 3.5 kW. You have a fixed heat pump with a thermostat and heating capacity of 3.3 kW, installed in 2014. You don't need to add any more heating because your existing heating is a qualifying, larger heater that achieves at least 90% of the required heating capacity.

Rental property details

About your home

Your home's age and location

When was your home built: **From 1978 to 2000**

Region: **Wellington**

Council rates paid to: **Wellington City Council**

Zone: **1**

Assumed external temperature: **2°C**

About your living room

Main living room

Main living room area: **41m²**

Number of staircases: **0**

Additional level 1 area: **0m²**

Additional level 2 area: **0m²**

Level 1

Wall 1

Type of wall: **internal**

Length: **5.40m**

Height: **3.00m**

Area: **16.20m²**

Calculated area: **16.20m²**

R-Value: **1.4**

Default R-Value **0.4**

Wall Transmission Heat Loss: **0.09kW**

Number of windows: **0**

Number of door glazing: **0**

Wall 2

Type of wall: **internal**

Length: **2.00m**

Height: **3.00m**

Area: **6.00m²**

Calculated area: **6.00m²**

R-Value: **0.4**

Default R-Value **0.4**

Wall Transmission Heat Loss: **0.12kW**

Number of windows: **0**

Number of door glazing: **0**

Wall 3

Type of wall: **internal**

Length: **3.48m**

Height: **3.00m**

Area: **10.44m²**

Calculated area: **10.44m²**

R-Value: **0.4**

Default R-Value **0.4**

Wall Transmission Heat Loss: **0.21kW**

Number of windows: **0**

Number of door glazing: **0**

Wall 4

Type of wall: **internal**

Length: **3.51m**

Height: **3.00m**

Area: **10.53m²**

Calculated area: **10.53m²**

R-Value: **1.4**

Default R-Value **0.4**

Wall Transmission Heat Loss: **0.06kW**

Number of windows: **0**

Number of door glazing: **0**

Wall 5

Type of wall: **internal**

Length: **8.80m**

Height: **3.00m**

Area: **26.40m²**

Calculated area: **26.40m²**

R-Value: **1.4**

Default R-Value **0.4**

Wall Transmission Heat Loss: **0.15kW**

Number of windows: **0**

Number of door glazing: **0**

Wall 6

Type of wall: **external**

Length: **5.46m**

Height: **3.00m**

Area: **16.38m²**

Calculated area: **16.38m²**

R-Value: **1**

Default R-Value **1**

Wall Transmission Heat Loss: **1.49kW**

Number of windows: **1**

Number of door glazing: **0**

Wall 6: Window 1

Glazing type: **single**

Length: **2.60m**

Height: **5.20m**

Area: **13.52m²**

Calculated area: **13.52m²**

R-Value: **0.15**

Default R-Value **0.15**

Floor:

Floor Area: **41.40m²**

Space below floor: **internal**

Standards compliance: **all**

Standards percentage: **0%**

Standards area: **0.00m²**

Standards R-Value **0**

Standards R-Value default **1.3**

Non-standards percentage: **0%**

Non-standards area: **0.00m²**

Non-standards R-Value **0**

Non-standards R-Value default **0.9**

Internal percentage: **100%**

Internal R-Value **1.4**

Internal R-Value default **0.5**

External percentage: **0%**

External R-Value **0**

External R-Value default **1.3**

Total area: **41.40m²**

Internal area: **41.40m²**

External area: **0.00m²**

Internal Transmission Heat Loss: **0.24kW**

External Transmission Heat Loss: **0.00kW**

Standards Transmission Heat Loss: **0.00kW**

Non-standards Transmission Heat Loss: **0.00kW**

Total Transmission Heat Loss: **0.24kW**

Ceiling:

Floor Area: **41.40m²**
Shape of ceiling: **flat**
Space above ceiling: **internal**
Standards percentage: **0%**
Standards area: **0.00m²**
Standards R-Value **0**
Standards R-Value default **2.4**
Non-standards percentage: **0%**
Non-standards area: **0.00m²**
Non-standards R-Value: **0**
Non-standards R-Value default: **1.9**
Internal percentage: **100%**
Internal R-Value: **1.4**
Internal R-Value default: **0.5**
External percentage: **0%**
External R-Value: **0**
External R-Value default: **2.4**

Flat area: **41.40m²**
Irregular area: **0.00m²**
Total area: **41.40m²**
Internal area: **41.40m²**
External area: **0.00m²**
Internal Transmission Heat Loss: **0.24kW**
External Transmission Heat Loss: **0.00kW**
Standards Transmission Heat Loss: **0.00kW**
Non-standards Transmission Heat Loss: **0.00kW**
Total Transmission Heat Loss: **0.24kW**
Number of skylights: **0**

Level Summary:

Volume of Level: **124.2m³**
Transmission Heat Loss: **2.59kW**
Ventilation Heat Loss: **0.68kW**
Additional heating-up power: **1.66kW**

Result

Transmission Heat Loss: **2.59kW**
Ventilation Heat Loss: **0.68kW**
Additional heating-up power: **1.66kW**
Heat load of the heated space: **5kW**
Heat load of the heated space (w/o heating-up power): **3.27kW**

Total Home Inspection Services Healthy Homes Assessment Terms of Service

SECTION 1 - SCOPE OF INSPECTION

The scope of the inspection is limited to visual inspection of the standard components of the home, which the inspector has reasonable access to and is the inspector's clear line of sight. The purpose of the inspection is to visually identify compliance with the Residential Tenancies (Healthy Homes Standards) Regulations 2019 ONLY. The report shall include: comments on: Heating standard, insulation standard, ventilation standard, moisture and drainage standard, draught stopping standard as per the Residential Tenancies (Healthy Homes Standards) Regulation 2019 ONLY.

SECTION 2 - LIMITATIONS OF INSPECTION AND REPORT (GENERAL)

The report is not a guarantee, warranty or any form of insurance, and is not to be used as a substitute for a final walk-through inspection, or a comprehensive building survey. This report is not a technically exhaustive investigation nor is it practicable to identify and itemise every defect or violation of the Residential Tenancies (Healthy Homes standards) Regulations 2019. The purpose of the report is to identify any readily visible items of concern at the time of the inspection. The report assumes that the property as built complies with the building code, and does not investigate or comment on that.

This report:

Does not assess or certify that the property or any element of it complies with the Building code (current or at the time the building was constructed).

Does not advise on, or cover, zoning ordinance violation, geological stability, soil conditions, structural stability, engineering analysis, termites or other infestations, asbestos, formaldehyde, water or air contaminants of any kind, toxic moulds, rotting (non-visual), electromagnetic radiation, environmental hazards.

Does not appraise or assess the property value, or the cost of any repair work,

Does not cover detached buildings, sheds, underground condition of pool and spa bodies and related piping, private water systems, septic systems, saunas, specialised electronic controls of any kind, elevators, dumb waiters, water softener and purification systems, solar systems, internal system components, security systems, system adequacy or efficiency, prediction of life expectancy of any items or system, minor and/or cosmetic problems, latent or concealed defects or any items marked as not inspected within the report.

Does not cover areas that are concealed, contained, inaccessible, or cannot be seen, due to walls, ceilings, floors, insulation, soils, vegetation, furniture, stored items, systems, appliances.

Does not detect or comment on the existence of formaldehyde, lead paint, asbestos, toxic or flammable materials, pest infestation and other health or environmental hazards;

Does not investigate any underground drainage or plumbing, playground equipment, vehicles, or any other object, will not be inspected or included in the report.

Does not comment on Appliances and spa/pool equipment special cycles or features.

SECTION 3 – LIMITATIONS OF INSPECTION AND REPORT (WEATHER-TIGHTNESS)

This report cannot, and does not, provide advice or investigation about whether the property inspected is a leaky home, suffers from toxic mould, rot, or fungal growth, or complies with E2/AS1 of the Building Code. This report is not to be construed as advice about the overall weather-tightness of the property or whether the property is, or is likely to be, stigmatised as a leaky home. The nature of the leaky home problem in New Zealand means:

Systemic moisture ingress, or building defects making a building prone to leaking, which would stigmatise a building as a 'leaky home', in many cases can only be detected through a comprehensive building survey including destructive testing and external cladding removal. That is outside the scope of this inspection and report.

The presence of risk factors, or areas of elevated moisture readings, identified in this report, are intended to do no more than to alert the customer to issues that might need to be investigated further. They are not to be equated with advice that a property is or is not a leaky home.

The absence of visible risk factors or elevated moisture readings is not intended to (and cannot reliably be taken as) advice that the property is not a leaky home.

Roofs will not be accessed as part of this Residential Tenancies (Healthy Homes Standards) Regulations 2019 inspection.

SECTION 4 - REASONABLE ACCESS

Reasonable access is access that is safe, unobstructed and which has a minimum clearance of 450 x 400 mm opening access door that can be safely accessed from a 3.6 m ladder and a minimum crawl space of 610 x 610 mm in the ceiling space and 500 x 400 mm opening access door and a minimum crawl space of 500mm vertical clearance for the sub floor area. Roofs will not be accessed as part of this Residential Tenancies (Healthy Homes Standards) Regulations 2019 inspection.

SECTION 5 – CONFIDENTIALITY AND LIMITATION OF LIABILITY

The contents of the report, or any other work prepared by us is confidential and has been prepared solely for you and shall not be relied upon by any third parties. We accept no responsibility for anything done or not done by any third party in reliance, whether wholly or partially, on any of the contents of the report.

Subject to any statutory provisions, if we become liable to you, for any reason, for any loss, damage, harm or injury in any way connected with the completion of the Inspection and/or report, our liability shall be limited to a sum not exceeding the cost of the Inspection and report. We will not be liable to you for any consequential loss of whatever nature suffered by you or any other person injured and indemnify us in respect of any claims concerning any such loss.